

The Department of Community Development
City Hall, Lynchburg, VA 24504 **434-455-3900**

To: Planning Commission
From: Planning Division
Date: April 9, 2014
Re: **Rezoning: B-5C, General Business District (Conditional) and I-2, Light Industrial District to B-5C, General Business District (Conditional) – 3801 & 3805 Wards Road Conditional Use Permit: Fill-in the 100-year floodplain- 3801 & 3805 Wards Road**

I. PETITIONER

B & H Holding, LLC, 160 Sunny Cove Drive, Moneta, VA 24121
Representative: Mr. E. Rick Lee, 1713 Hourglass Pt., Hixson, TN 37343

II. LOCATION

The subject properties include two (2) tracts totaling approximately ninety-four hundredths (0.94) of an acre located at 3801 and 3805 Wards Road.

Property Owners:

B & H Holding, LLC, 160 Sunny Cove Drive, Moneta, VA 24121

III. PURPOSE

The purpose of the rezoning petition is to allow for the construction of a car wash. The purpose of the conditional use permit petition is to allow for the floodplain to be filled in appropriately developing the site. The concept plan indicates a car wash with associated parking areas. The petitioner has voluntarily submitted proffers which provide assurances related to the development of the site.

IV. SUMMARY

- The *Future Land Use Map (FLUM)* recommends a Community Commercial use for these properties. Limited retail and service uses may be established in these areas.
- If approved, both properties (3801 and 3805 Wards Road) will have one (1) zoning designation, B-5C, General Business District (Conditional). The split zoning of the properties between I-2, Light Industrial District and B-5C, General Business District (Conditional) will be removed.
- The concept plan indicates the removal of the Regents Parkway entrance to Wards Road. Since the tunnel accessing Liberty University's campus is near complete, Regents Parkway will no longer need to cross the subject properties for access to Wards Road.
- A CUP was previously approved during the development of the Sonic restaurant for this site in July 2001 for filling in the flood plain.

The Planning Division recommends approval of the rezoning and CUP petition.

V. FINDINGS OF FACT

1. **Comprehensive Plan.** The *FLUM* of the *Comprehensive Plan 2013-2030* recommends a Community Commercial use for the area. "Community Commercial areas contain retail, personal service, entertainment, and restaurant uses that draw customers from at least several neighborhoods, the entire City or the region. In particular, conversion of existing vacant retail space to these uses may be appropriate in areas where there is sufficient retail to serve the community and space for employment uses where needed." (*pg. 75-76*)

Comprehensive Plan 2013-2030 recommends through Goal AP-5: Wards Road; that pedestrian and vehicular safety should be improved (*pg. 21*). The petitioner has proffered to provide sidewalk along the frontage of the property as well as a newly designed driveway to the property improving the ingress/egress of the site.

2. **Zoning.** The subject property was annexed into the City in 1976. The existing B-5C, General Business District (Conditional) zoning was established in 1993 with the approval of the rezoning petition of Old Time Gospel Hour.
3. **Proffers.** The petitioner has voluntarily submitted the following proffers:
 - a. The site will be developed in substantial compliance with the concept plan submitted.
 - b. The developer agrees to construct curb and gutter on Wards Road along the entire length of his property.
 - c. The developer agrees to share the cost of construction of a sidewalk along Wards Road along the entire length of his property.
 - d. The architecture of the structures will be in substantial compliance with the elevations submitted.
4. **Board of Zoning Appeals (BZA).** The Zoning Official has determined that no variances would be needed for the development of the property as proposed.
5. **Surrounding Area.** There have been several items requiring City Council approval in the immediate area:
 - On February 10, 1981, Council approved the petition of Granville Graham to rezone the property at 3400 Wards Road from B-3, Community Business District to B-5C, General Business District (Conditional) to allow for the construction of a warehouse.
 - On June 14, 1988, Council approved the petition of Barry E. Dotson & Associates to rezone the property at 3900 Wards Road from I-2, Light Industrial District to B-3C, Community Business District (Conditional) and receive a CUP to fill-in the floodplain to allow for the construction of a shopping center.
 - On March 14, 1989, Council approved the petition of Vito DeMonte to rezone the property at 3725 Wards Road from I-2, Light Industrial District to B-5C, General Business District (Conditional) to allow for the expansion of an existing auto body.
 - On March 14, 1989, Council approved the CUP petition of Old Time Gospel Hour to construct a football stadium and basketball arena at 3765 Candler's Mountain Road.
 - On September 11, 1990, Council approved the petition of Vito DeMonte to rezone the property at 3717 Wards Road from I-2, Light Industrial District to B-5C, General Business District (Conditional) to allow for the construction of an automobile showroom and service shop.
 - On July 14, 1992, Council approved the petition of Sam's Club to rezone the property at 3900 Wards Road to B-3C, Community Business District (Conditional) to B-3C, Community Business District (Conditional) to allow for a retail store and modification to the proffered site plan.
 - On April 8, 1997, Council approved the CUP petition of Wal-Mart Stores, Inc. to fill-in the floodplain in order to allow for a retail store at 3900 Wards Road.
 - On January 26, 1999, Council approved the rezoning petition of Faison/Trammel Crow Company to rezone the property at 100 Atlanta Avenue from R-3, Medium Density, Two-

Family Residential District, R-4, Medium-High Density, Multi-Family Residential District, R-5, High Density, Multi-Family Residential District and B-5, General Business District to B-5C, General Business District (Conditional) to allow for the construction of a shopping center.

- On July 13, 1999, Council approved the petition of Rocky Bottom Realty, LLC to rezone the property at 3700 Wards Road from I-2, Light Industrial District and R-C, Resource Conservation District to B-3C, Community Business District (Conditional) and receive a CUP to fill-in the floodplain to allow for the construction of retail and restaurant uses.
 - On May 9, 2000, Council approved the CUP petition of Old Time Gospel Hour to fill-in the floodplain to facilitate the development of a restaurant at 3920 Wards Road.
 - On July 10, 2001, Council approved the CUP petition of EHI Properties to fill-in the floodplain to facilitate the development of a restaurant at 3805 Wards Road.
 - On November 13, 2001, Council approved the CUP petition of Liberty University to amend the Master Plan at 1971 University Boulevard.
 - On December 16, 2003, Council approved the petition of Jerry Falwell Ministries to rezone the property at 100 Mountain View Road from I-2, Light Industrial District, B-5, General Business District, and B-3C, Community Business District (Conditional) to B-5C, General Business District (Conditional) and receive a CUP to allow for modifications to the vegetation disturbance on the property.
 - On June 10, 2008, Council approved the CUP petition of Liberty University to allow for a consolidated sign plan at 100 Mountain View Road, 100 and 300 Liberty Mountain, and 3501 Wards Road.
- 6. Site Description.** The subject property proposed for rezoning is comprised of two (2) tracts totaling approximately ninety-four hundredths (0.94) of an acre located at 3801 and 3805 Wards Road. The property located at 3801 Wards Road is vacant, but Regents Parkway traverses most of this property. A Sonic restaurant currently is located at 3805 Wards Road and will be demolished if the rezoning and CUP are approved. The two (2) properties proposed for development slope to the west towards Wards Road. A significant portion of the properties fall within the 100-year flood plain.
- 7. Proposed Use of Property.** If the rezoning and CUP petition are approved, the property would be developed for a car wash with associated parking areas.
- 8. Traffic, Parking and Public Transit.** The proposed development did not warrant a Traffic Impact Study (TIS). The petitioner did provide trip generation and a queue analysis which confirmed that the peak hour trips are below fifty (50) and the site will be able to allow for stacking of sixteen (16) vehicles awaiting entry into the car wash.
- The development is proposed to be accessed by the construction of a new entrance on Wards Road using an existing right turn lane.
- 9. Stormwater Management.** The proposed project is required to treat stormwater runoff for quantity and quality. The proposed site will reduce the stormwater flow rate from the existing use as a restaurant through the use of the underground detention structure, as well as a reduction in impervious surface. Water quality will also be handled through the underground structure.
- 10. Emergency Services.** The City Fire Marshal provided comments regarding site design requirements of the City of Lynchburg and the Virginia Statewide Fire Prevention Code.

The City's Police Department provided general comments related to site safety and security. These comments have or will be addressed by the petitioner prior to final site plan approval.

- 11. Impact.** This particular area of Wards Road calls for Community Commercial uses on the FLUM. The car wash use is compatible with the adjoining land uses as well as the projected future land use of the property. A car wash business was previously located on the adjoining property to the south, so this area has experienced a car wash facility previously.

The preliminary site plan indicates that the Sonic Restaurant building and structures will be demolished. The submitted rezoning petition would allow the construction of a car wash facility (one building) and associated parking areas. The voluntarily submitted proffers adequately address potential impacts related to the development by the use of stormwater management, light trespass and architectural standards.

The CUP petition proposes filling in the floodplain to allow for the development of the property as a carwash. The building which is planned to be demolished, previously received approval to fill-in the floodplain in 2001. The proposed fill consists of the carwash structure located partially in the floodplain. The petitioner has submitted information documenting that the proposed fill would not result in a net-rise of the floodplain elevation. No impacts will occur to the floodway. Although caution should be taken when altering the floodplain, the impact from this proposal should be minimal.

- 12. Technical Review Committee.** The Technical Review Committee (TRC) reviewed the preliminary rezoning plan and CUP on March 18, 2014. Comments related to the proposed use have or will be addressed by the petitioner prior to final site plan approval.

VI. PLANNING DIVISION RECOMMENDATION

As provided in Section 35.1-43.1, Conditional Zone or Zone Approval, waive the twenty-one (21) day submittal requirement for voluntarily submitted proffers.

Based on the preceding Findings of Fact, the Planning Commission recommends to City Council approval of the petition of B & H Holding, LLC to:

Rezone approximately ninety-four hundredths (0.94) of an acre located at 3801 and 3805 Wards Road from B-5C, General Business District (Conditional) to B-5C, General Business District (Conditional) subject to the following voluntarily submitted proffers:

- a) **The site will be developed in substantial compliance with the concept plan submitted.**
- b) **The developer agrees to construct curb and gutter on Wards Road along the entire length of his property.**
- c) **The developer agrees to share the cost of construction of a sidewalk along Wards Road along the entire length of his property.**

- d) The architecture of the structures will be in substantial compliance with the elevations submitted.**

Based on the preceding Findings of Fact, the Planning Commission recommends to City Council approval of the conditional use permit petition of B & H Holding, LLC, to allow filling in the floodplain at 3801 and 3805 Wards Road in accordance with the following conditions:

- 1. The developer shall not exceed the limitations for any detrimental effects caused by filling in the flood plain of Rock Castle Creek for the subject property.**
- 2. An engineered site plan is required and shall provide for the determination of an “adequate conveyance and downstream receiving channel.”**
- 3. A Letter of Map Revision (LOMR) will be filed with the Federal Emergency Management Association (FEMA).**

This matter is respectfully offered for your consideration.

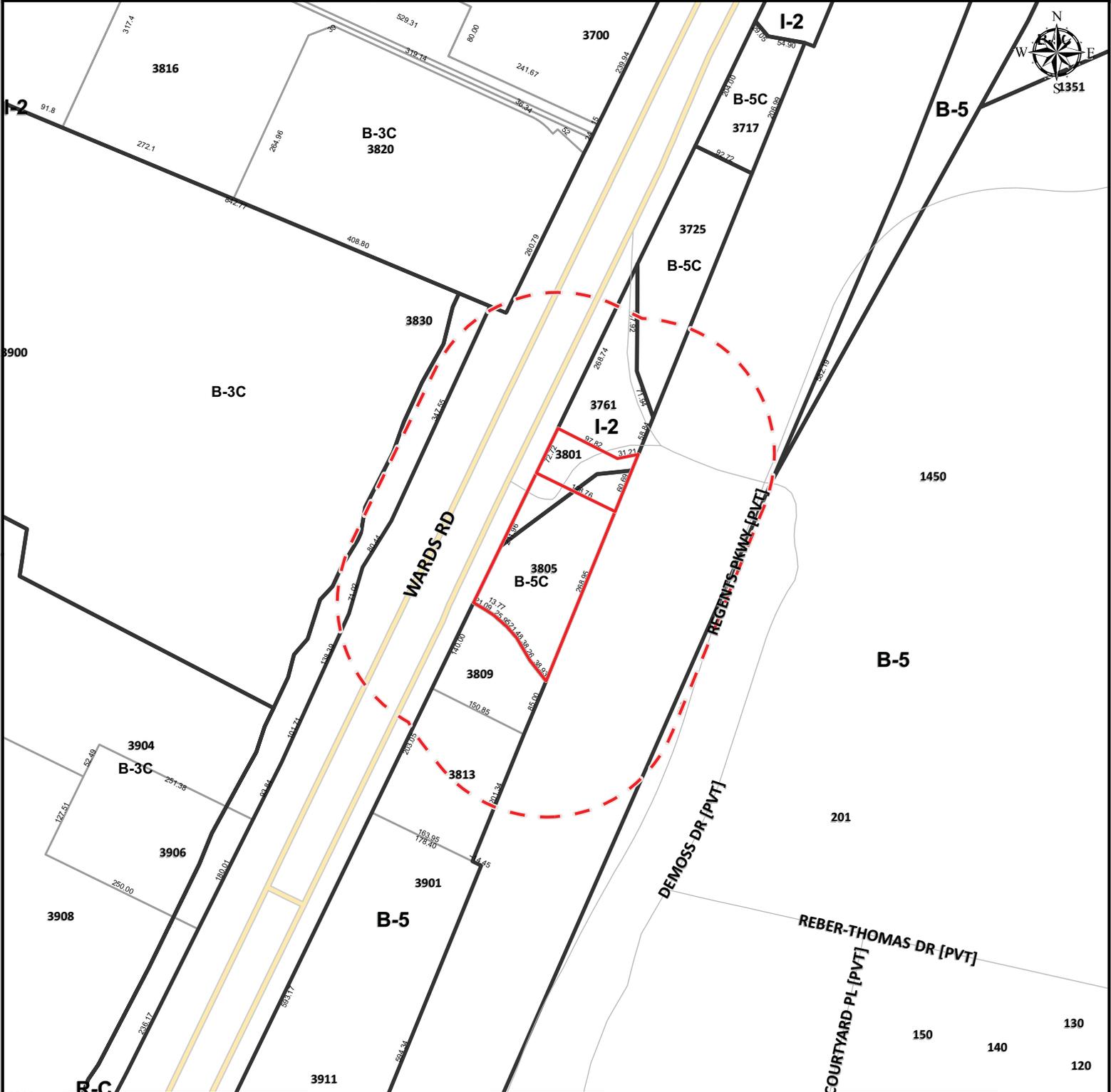


William T. Martin, AICP
City Planner

pc: Mr. L. Kimball Payne, III, City Manager
Ms. Bonnie M. Svrcek, Deputy City Manager
Mr. Walter C. Erwin, City Attorney
Mr. Kent L. White, Director of Community Development
Mr. J. Lee Newland, City Engineer
Ms. Cynthia Kozerow, Lynchburg Police Department
Battalion Chief Greg Wormser, Fire Marshal
Mr. Don DeBerry, Transportation Engineer
Mr. Doug Saunders, Building Commissioner
Mr. Robert Fowler, Zoning Administrator
Mr. E. Rick Lee, Jet Express Car Wash
Mr. Bill Hinton, B & H Holdings

VII. ATTACHMENTS

- 1. Vicinity Zoning Pattern Map**
- 2. Vicinity Proposed Land Use Map**
- 3. Watershed Location Map**
- 4. Planimetric and Topographic Map**
- 5. Rezoning Plan**
- 6. Property Photograph**



PROPERTY INFORMATION

PARCEL ID	ADDRESS
25702016	3805 WARDS RD
25702009	3801 WARDS RD

LEGEND

- Subject Property
- 200' Buffer
- Zoning Boundary

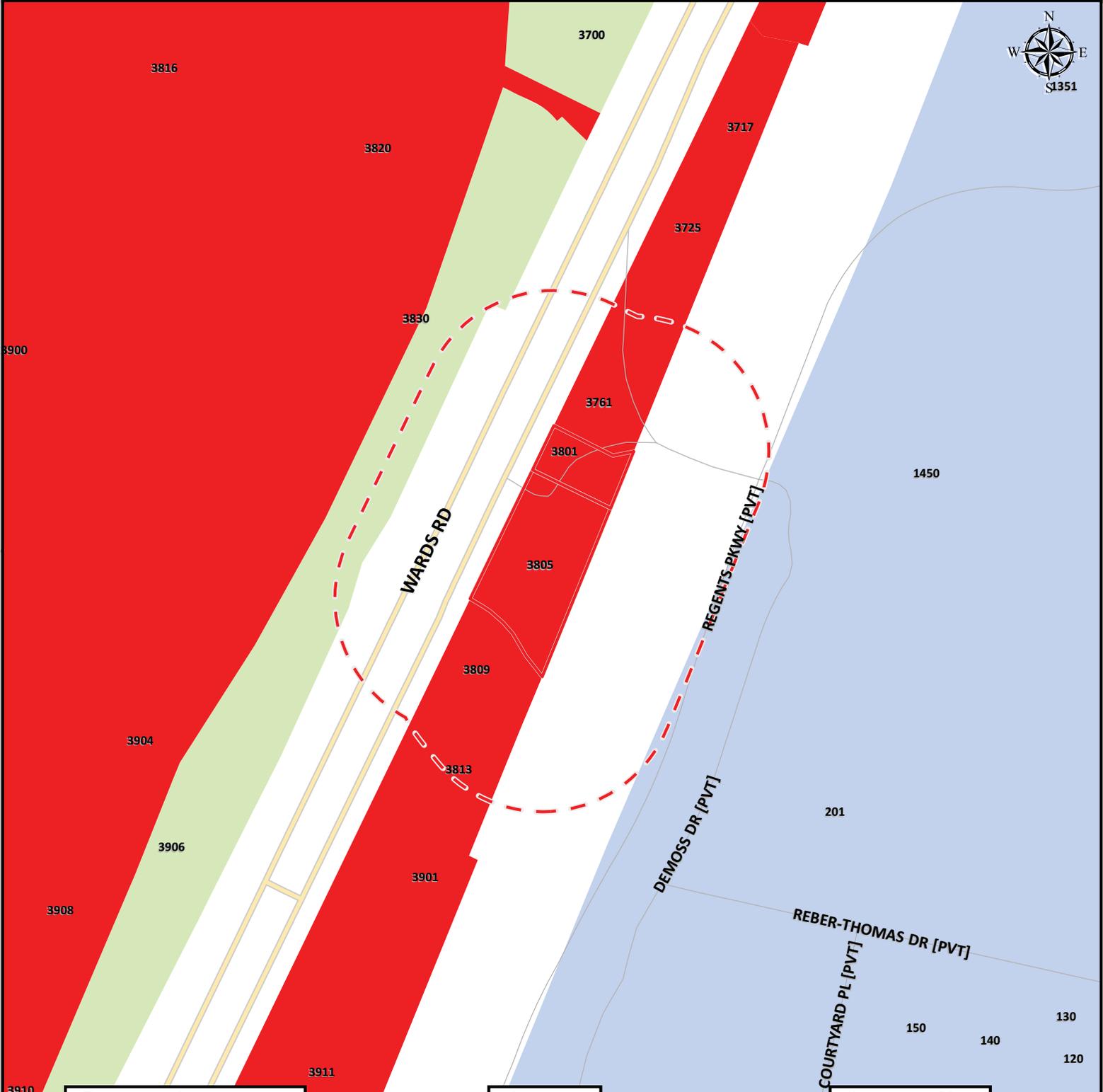
OVERVIEW MAP



MAP SCALE: 1" to 200' DATE PRINTED: 3/28/2014

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Parcel ID	Address	Owner
25703017	3820 WARDS RD	#463 CRACKER BARREL OLD COUNTRY
25702016	3805 WARDS RD	AOG INC
25702008	3813 WARDS RD	GACOMB LLC
25702009	3801 WARDS RD	LIBERTY UNIVERSITY INC
25702010	3761 WARDS RD	LIBERTY UNIVERSITY INC
25701001	1971 UNIVERSITY BLVD	LIBERTY UNIVERSITY INC
25702011	3725 WARDS RD	SANDROF, NIGEL P & TAMERA Y
16231003	3429 CANDLERS MOUNTAIN RD	SOUTHERN RAILWAY
25702013	3809 WARDS RD	VAN FIRST LLC
25703003	3900 WARDS RD	WAL-MART REAL ESTATE BUSINESS TRUST



PROPERTY INFORMATION

PARCEL ID	ADDRESS
25702016	3805 WARDS RD
25702009	3801 WARDS RD

LEGEND

- Local Historic District
- Traditional Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Neighborhood Commercial
- Community Commercial
- Employment 1
- Employment 2
- Downtown
- Institution
- Public Use
- Public Parks
- Resource Conservation
- Mixed Use

OVERVIEW MAP



MAP SCALE: 1" to 200' DATE PRINTED: 3/28/2014

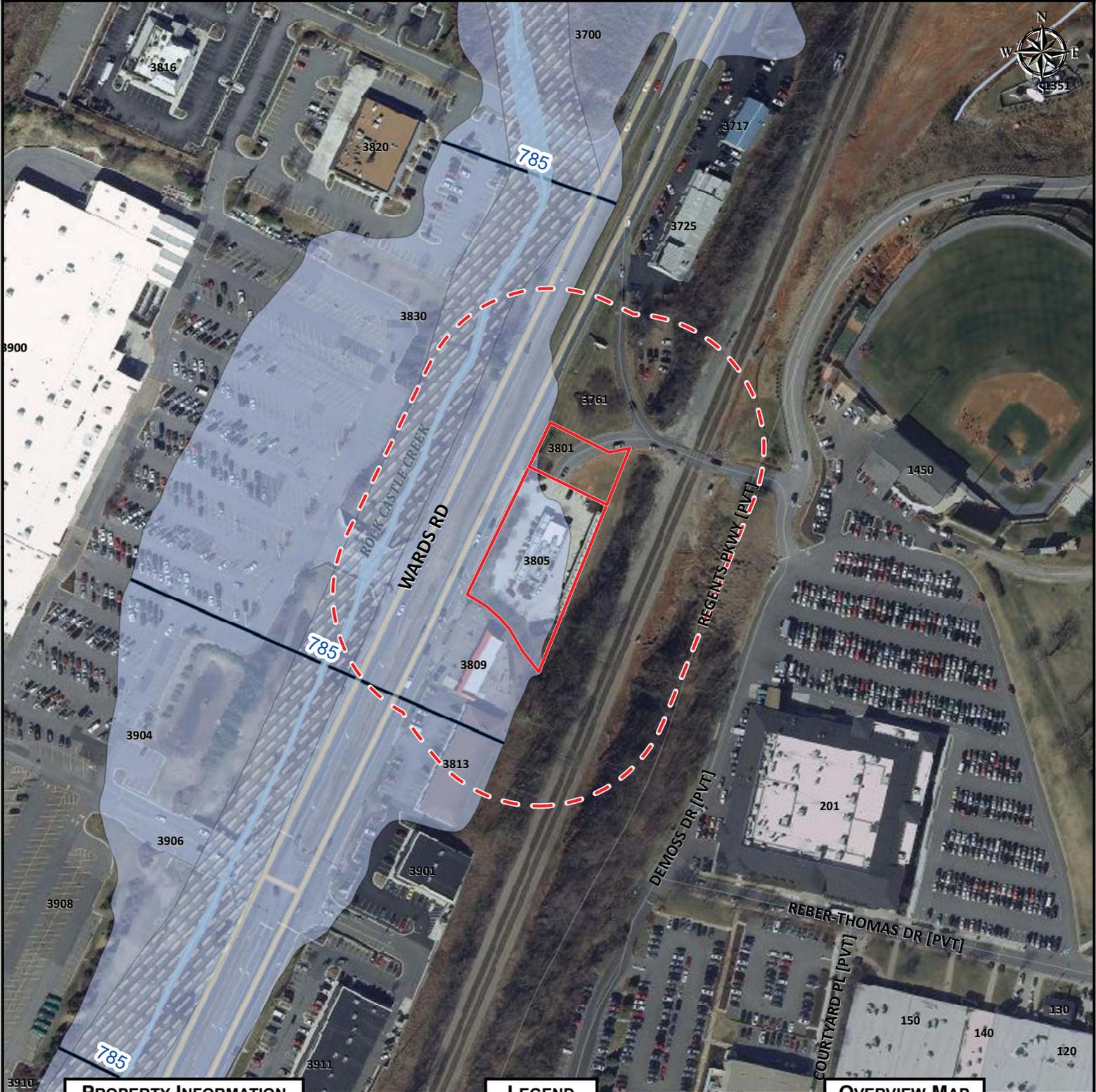
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Watershed Map

EXPRESS CAR WASH

Zoning, & CUP Request

B & H Holdings



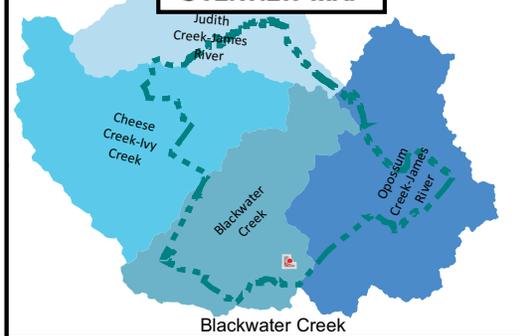
PROPERTY INFORMATION

PARCEL ID	ADDRESS
25702016	3805 WARDS RD
25702009	3801 WARDS RD

LEGEND

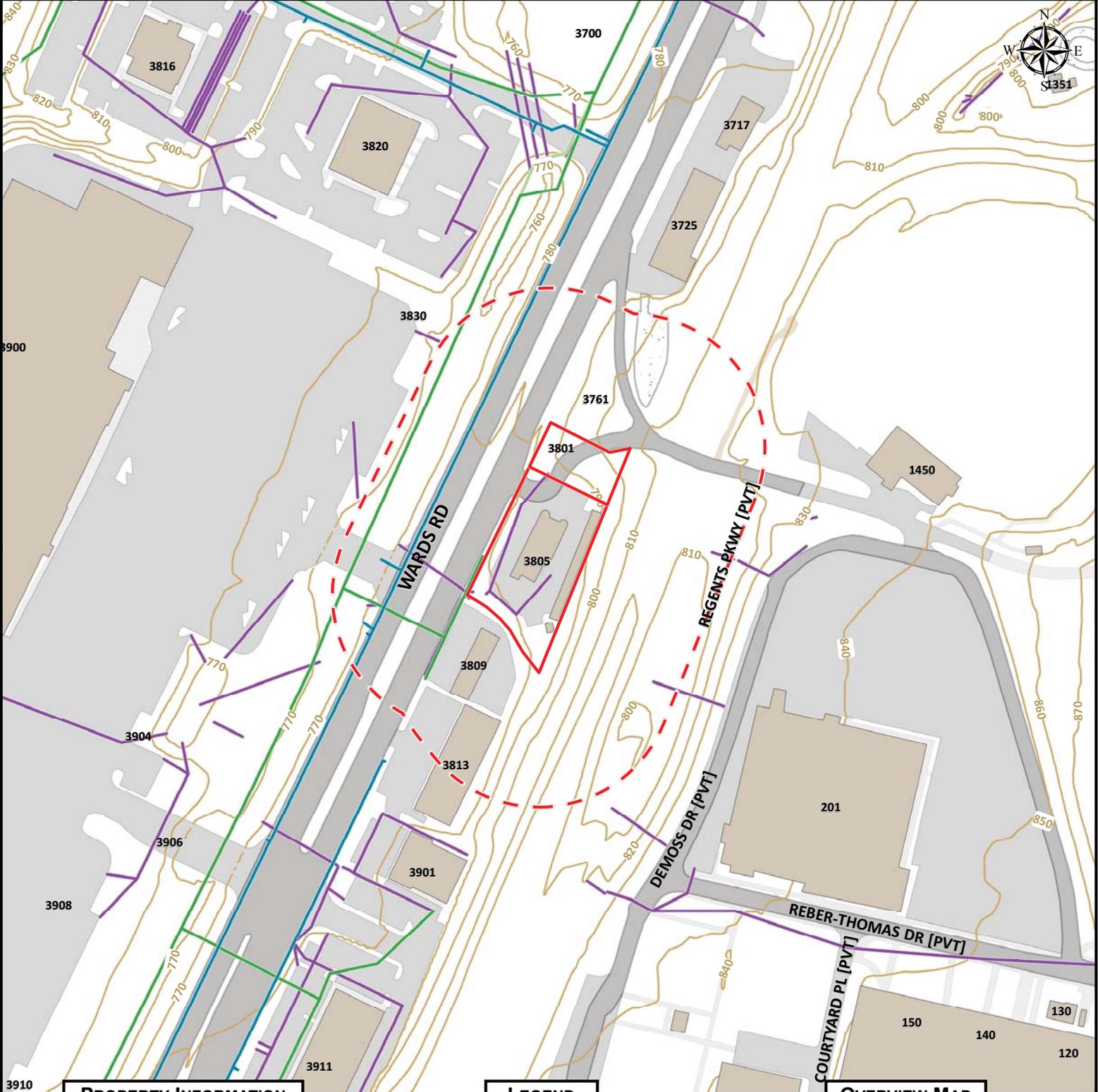
- Subject Property
- Base Flood Elevation
- Floodway
- Floodzone
- River / Lake / Stream

OVERVIEW MAP



MAP SCALE: 1" to 200' DATE PRINTED: 3/28/2014

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PROPERTY INFORMATION

PARCEL ID	ADDRESS
25702016	3805 WARDS RD
25702009	3801 WARDS RD

LEGEND

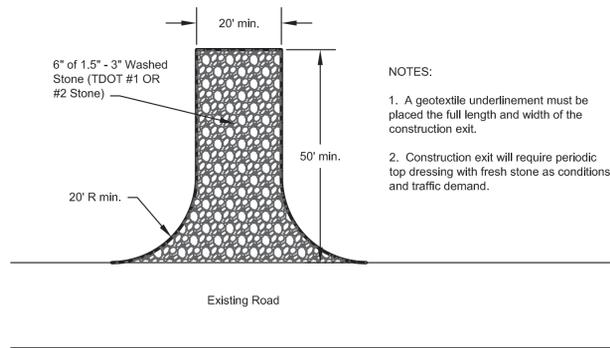
	Active	Proposed	Abandoned
Utilities	Water (solid blue)	Sanitary (dotted green)	Storm (dotted purple)
Structure	Paved (solid grey)	Unpaved (solid tan)	Other (solid brown)
Planimetrics	Roadway (solid grey)	Parking (dotted grey)	Sidewalk (dotted grey)
Topography	Contour (solid brown)	10' Obs (dotted brown)	10' Obs (dotted brown)

OVERVIEW MAP



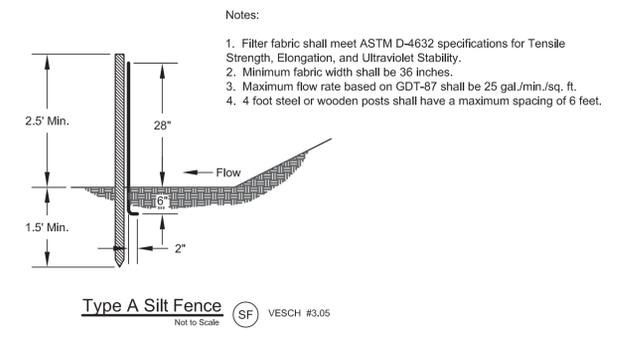
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- NOTES:
1. A geotextile underlayment must be placed the full length and width of the construction exit.
 2. Construction exit will require periodic top dressing with fresh stone as conditions and traffic demand.

TEMPORARY CONSTRUCTION EXIT
Not to Scale (CE) VESCH #3.02



- Notes:
1. Filter fabric shall meet ASTM D-4632 specifications for Tensile Strength, Elongation, and Ultraviolet Stability.
 2. Minimum fabric width shall be 36 inches.
 3. Maximum flow rate based on GDT-87 shall be 25 gal./min./sq. ft.
 4. 4 foot steel or wooden posts shall have a maximum spacing of 6 feet.

Type A Silt Fence
Not to Scale (SF) VESCH #3.05

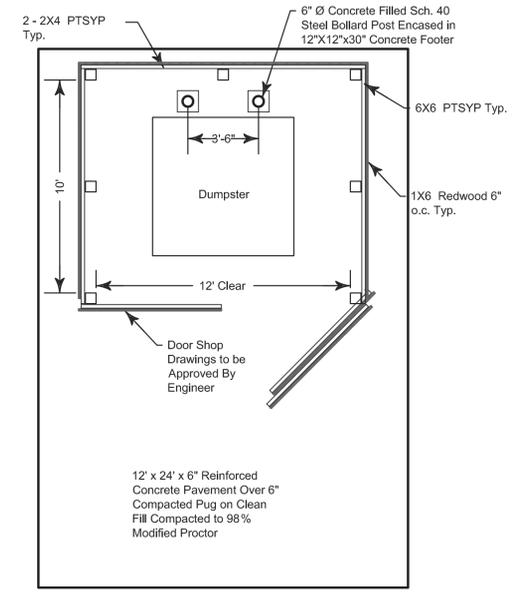
Seeding Dates	Grass Seed	Application Rate (lb/ac)
January 1 to May 1	Italian Rye	25
	Korean Lespedeza	25
	Summer Oats	25
May 1 to July 15	Sudan - Sorghum	38
	Starr Millet	38
July 15 to January 1	Balboa Rye	50
	Italian Rye	25

Temporary Cover Seeding Mixtures
Not to Scale (TS) VESCH #3.31

Seeding Dates	Grass Seed	Application Rate (lb/ac)
January 1 to June 1	Kentucky 31 Fescue	64
	Korean Lespedeza	12
	English Rye	4
June 1 to August 1	Kentucky 31 Fescue	44
	English Rye	16
	Korean Lespedeza	12
August 1 to January 1	German Millet	8
	Kentucky 31 Fescue	56
	Crown Vetch	20
	English Rye	4

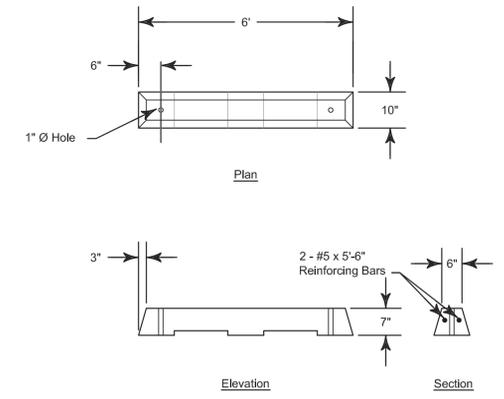
- Permanent Stabilization Process:
1. Compact subgrade to required density.
 2. Immediately prior to dumping and spreading the topsoil the surface shall be loosened by discs or harrows to a minimum depth of 2 inches to facilitate bonding of the topsoil to the covered subgrade soil.
 3. The topsoil shall be evenly spread on the prepared areas to a uniform depth of 2 inches after compaction. After spreading is completed, the topsoil shall be satisfactorily compacted by rolling with a cultipacker.
 4. Grass seed shall be sown at the rate specified above.
 5. If a Geotextile is used, install as per the manufacturer's requirements. Otherwise, straw or hay shall be spread over the surface to a uniform thickness at the rate of 2 to 3 tons per acre to provide a loose depth of not less than 1-1/2 inches nor more than 3 inches.
 6. After the seed has been properly covered, the seedbed shall be immediately compacted by means of an approved lawnmower, weighing 40 to 65 pounds per foot.

Permanent Cover Seeding Mixtures
Not to Scale (PS) VESCH #3.32

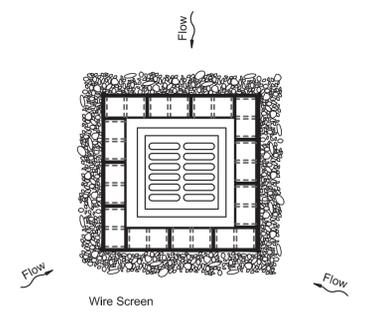


Dumpster Screening
Not to Scale

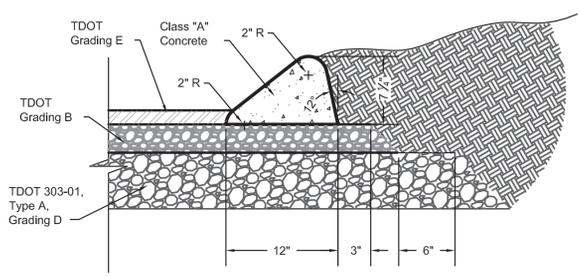
Note: Dumpster Screen to be 6' Min. Height on All Sides, Including the Gate.



Concrete Wheel Stop
Not to Scale

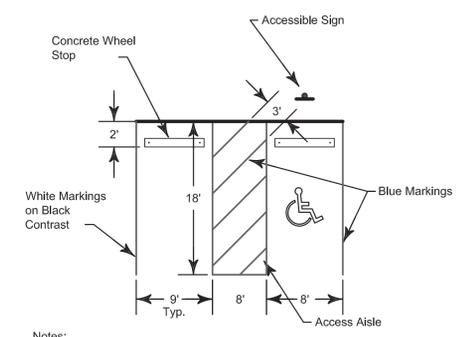


Rip Rap Inlet Protection
Not to Scale (IP) VESCH #3.07



- Notes:
1. Curb materials and workmanship shall comply with Section 702 of the Tennessee Department of Transportation's *Standard Specifications for Road and Bridge Construction*.
 2. Expansion joint material shall be 3/4" premolded fiber in accordance with section 905 - Joint Materials of the above specifications.
 3. Expansion joints shall be placed at all tangent points of circular curbs, between curbs and abutting rigid objects, all other spaces where stresses may develop and at a maximum spacing of 10 feet.
 4. Contraction joints shall be on a maximum of 10 foot spacing but not less than 6 feet.
 5. Edges of joints shall be finished on one-quarter inch radii.

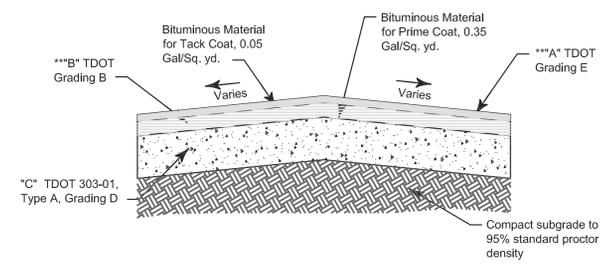
12" Extruded Concrete Curb
Not to Scale



- Notes:
1. Maximum slope in any direction for accessible parking spaces and access aisles shall be 2 %.
 2. All pavement markings for accessible spaces shall be blue with a minimum width of 4".
 3. All white pavement marking for parking spaces on concrete shall be white with a minimum width of 4" on a black contrast background with a minimum width of 8".
 4. All pavement markings for parking spaces to comply with TDOT Standard Specifications for Road and Bridge Construction Section 716.07 - Paint.

Accessible Spaces
Not to Scale

All Public Infrastructure Shall be Constructed in Accordance with City of Lynchburg Manual of Specifications and Standard Details.



	A Asphaltic Concrete Surface	***B*** Asphaltic Concrete Binder	"C" Mineral Aggregate Base
Pavement Type			
Heavy Duty	1.5"	3"	8"
Standard Duty	1.5"	1.5"	6"

**Contractor may submit to the engineer a concrete pavement section for approval.

Typical Roadway Section
Not to Scale

Preliminary
Not For
Construction

Sheet Information
Project Number: 0014094
Date Issued: March 2, 2014
Designed By: RAC
Drawn By: RAC
Checked By: KYC

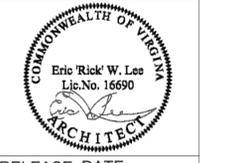
Sheet Number:
C701

Sheet:
**Initial Erosion
Control Plan**

**Jet Express
Car Wash**
Bill Hinton
3805 Wards Road, Lynchburg, Virginia 24502
Parcel ID: 25702009 & 25702016

No.	Description	By	Date
1	Reviewed Per TNC Site Plan Review	BAC	3/21/14

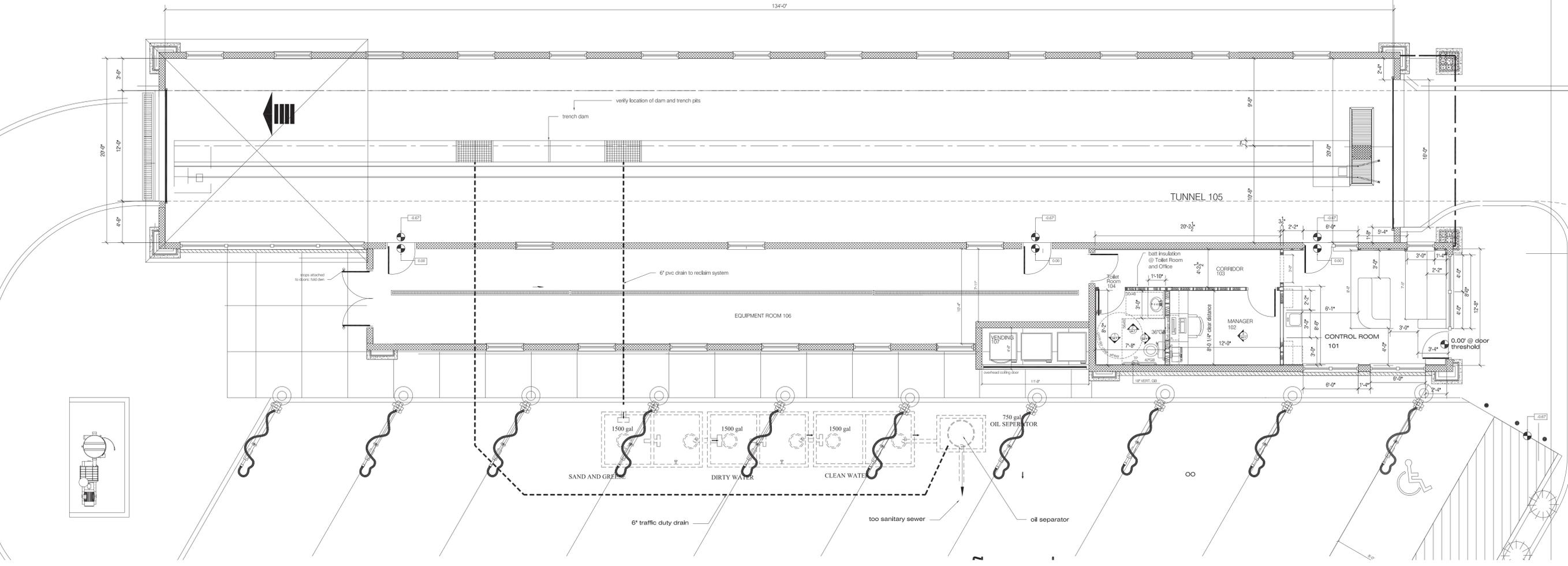
In the absence of a professional's seal, these documents are not for construction.



RELEASE DATE:

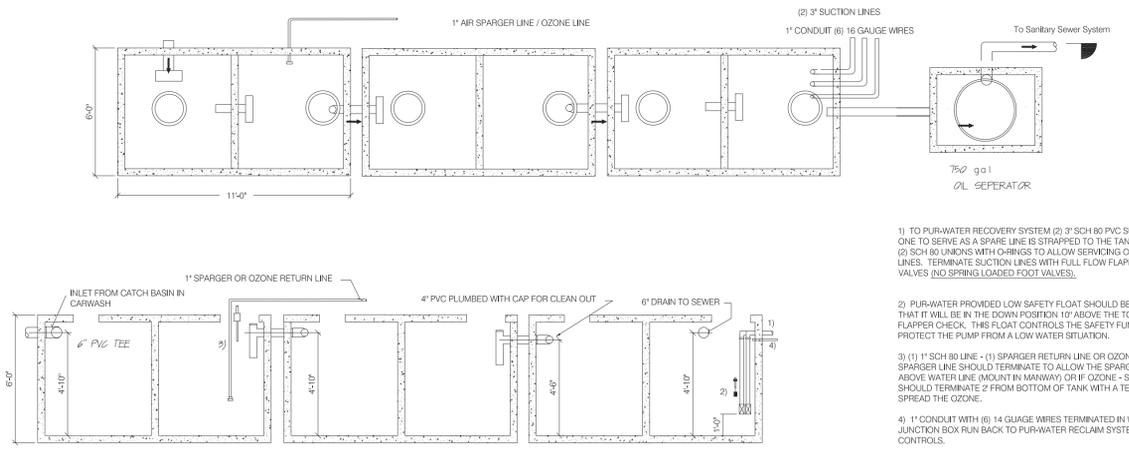
CONTRACT DATE:
 DEC 2 2013

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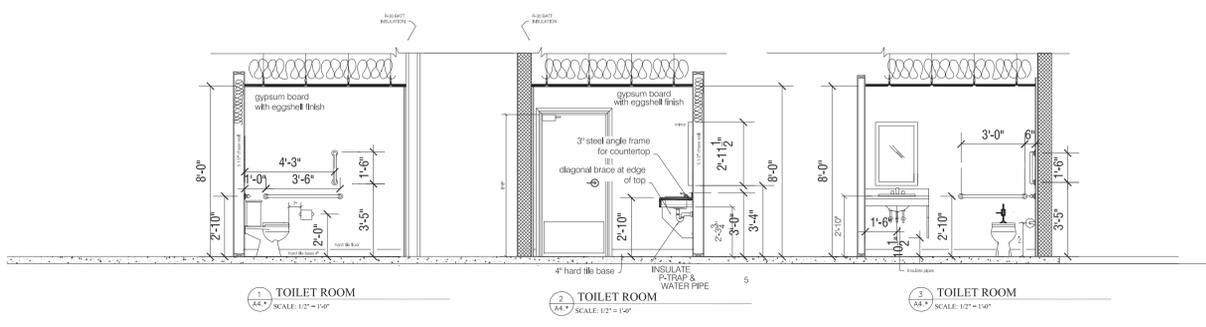
RECOMMENDED TANK CONFIGURATION FOR 60 TO 90 GPM

THIS IS THE SUGGESTED IDEAL CONFIGURATION FOR A 90 GPM WATER RECOVERY SYSTEM. PUR-WATER RECOGNIZES THE FACT THAT SEPTIC TANKS ARE A LOCAL BUSINESS AND NOT ALL AREAS WILL HAVE THIS CONFIGURATION OF TANK IN YOUR AREA PLEASE CONTACT PUR-WATER AT (800) 882-8854.



RECLAIM TANK SYSTEM (1500 GLS) 3 TANK
 3 TANK FOR PW200/300

- TO PUR-WATER RECOVERY SYSTEM (2) 3" SCH 80 PVC SUCTION LINES. ONE TO SERVE AS A SPARE LINE IS STRAPPED TO THE TANK WALL. INSTALL THE FLAPPER CHECK. THIS FLOAT CONTROLS THE SAFETY FUNCTION TO PROTECT THE PUMP FROM A LOW WATER SITUATION.
- PUR-WATER PROVIDED LOW SAFETY FLOAT SHOULD BE MOUNTED AS THAT IT WILL BE IN THE DOWN POSITION 10" ABOVE THE TOP OF THE FLAPPER CHECK. THIS FLOAT CONTROLS THE SAFETY FUNCTION TO PROTECT THE PUMP FROM A LOW WATER SITUATION.
- (1) 1" SCH 80 LINE - (1) SPARGER RETURN LINE OR OZONE LINE - IF SPARGER LINE SHOULD TERMINATE TO ALLOW THE SPARGER TO BE 1" ABOVE WATER LINE (MOUNT IN MANWAY) OR IF OZONE - SYSTEM LINE SHOULD TERMINATE 2" FROM BOTTOM OF TANK WITH A TEE SO IT WILL SPREAD THE OZONE.
- 1" CONDUIT WITH (6) 14 GAUGE WIRES TERMINATED IN WATER TIGHT JUNCTION BOX RUN BACK TO PUR-WATER RECLAIM SYSTEM FOR FLOAT CONTROLS.



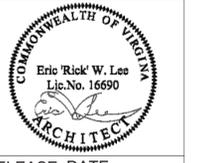


Registered architect
 al, fl, nc, sc, tn, va, ncarb
 address:
 Hourglass Pointe,
 Hixson, TN
 Office/Cell: [phone numbers]
 Email: ericricklee@yahoo.com
 Website: http://www.architect-ericlee.com

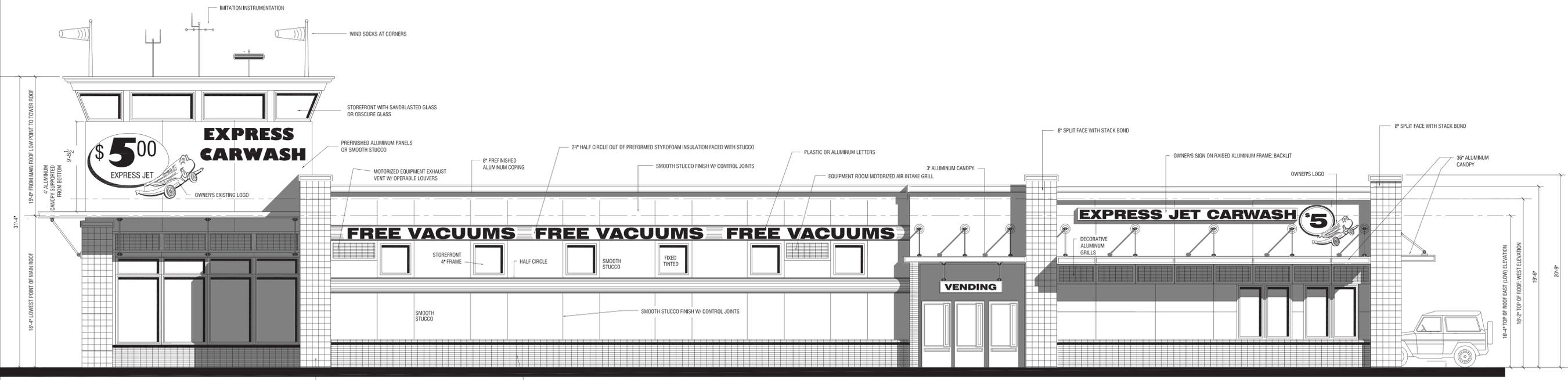
Project & Owner Information
express jet car wash
 an express carwash development for Mr. Bill Hinton
 [address] Wards Road
 Lynchburg, VA
 bill hinton
 B&H Holdings, llc, [address] sunny cove drive, moneta, va [address]

CONSULTANT
 Architect of Record
 E. (Rick) W. Lee-Architect, PLLC
 [address] hourglass pt, hixson, tn [address]
 DRAWN BY:
 E. (Rick) W. Lee
 CHECKED BY:
 E. (Rick) W. Lee

sheet number
 A2.1
 of 1



RELEASE DATE:
 CONTRACT DATE:
 DEC 2 2013
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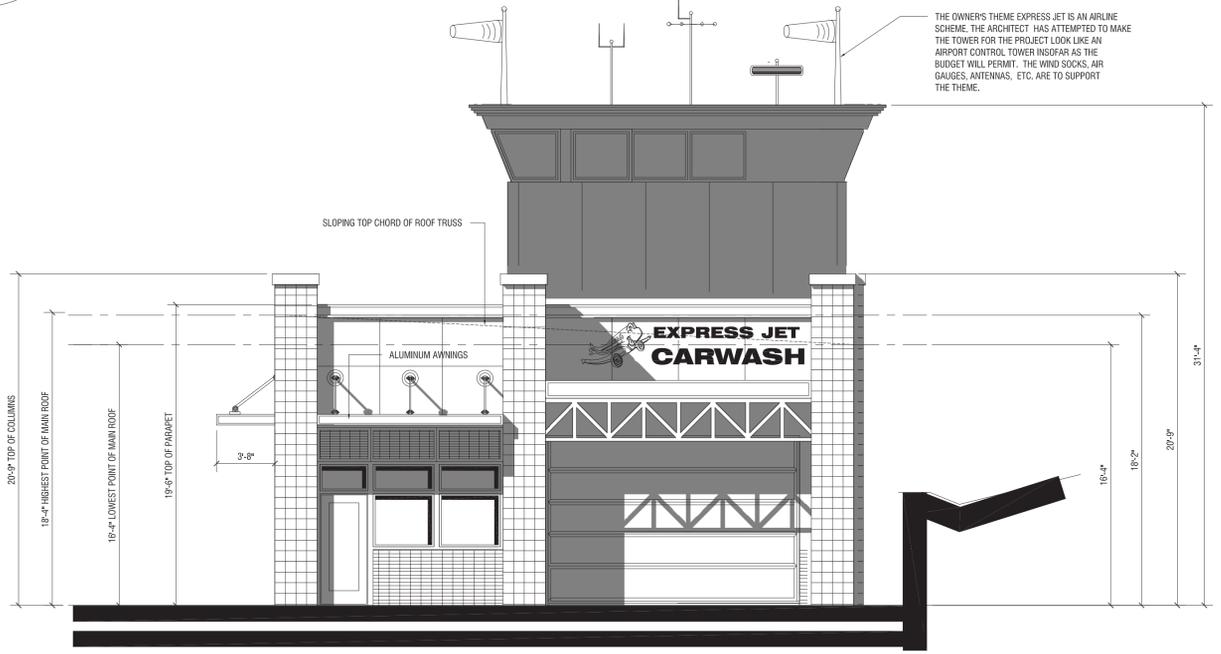
IMPORTANT NOTE: IT IS ACKNOWLEDGED THAT THE SIGNAGE INDICATED ON THESE DRAWINGS ARE PRELIMINARY AND ARE PROPOSED LOCATIONS ONLY. OWNER RECOGNIZES THAT HE MUST SUBMIT A SIGN PACKAGE TO THE CITY FOR REVIEW AND APPROVAL.



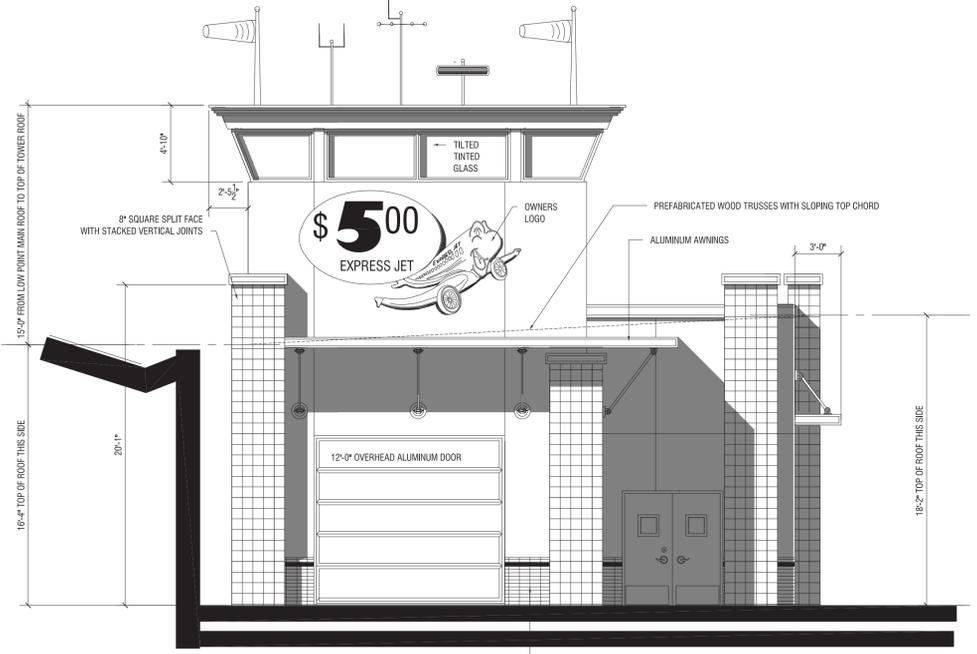
WARD'S ROAD ELEVATION



THE OWNER'S THEME EXPRESS JET IS AN AIRLINE SCHEME. THE ARCHITECT HAS ATTEMPTED TO MAKE THE TOWER FOR THE PROJECT LOOK LIKE AN AIRPORT CONTROL TOWER INSOFAR AS THE BUDGET WILL PERMIT. THE WIND SOCKS, AIR GAUGES, ANTENNAS, ETC. ARE TO SUPPORT THE THEME.



ENTRANCE ELEVATION

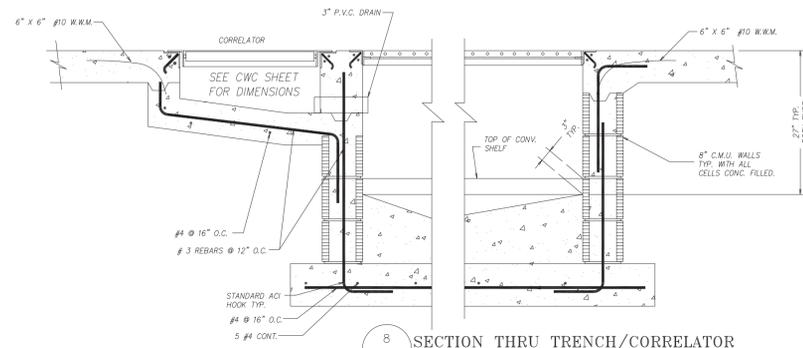


EXIT ELEVATION



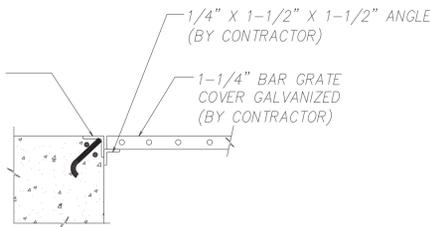
ENTRANCE END

EXIT END



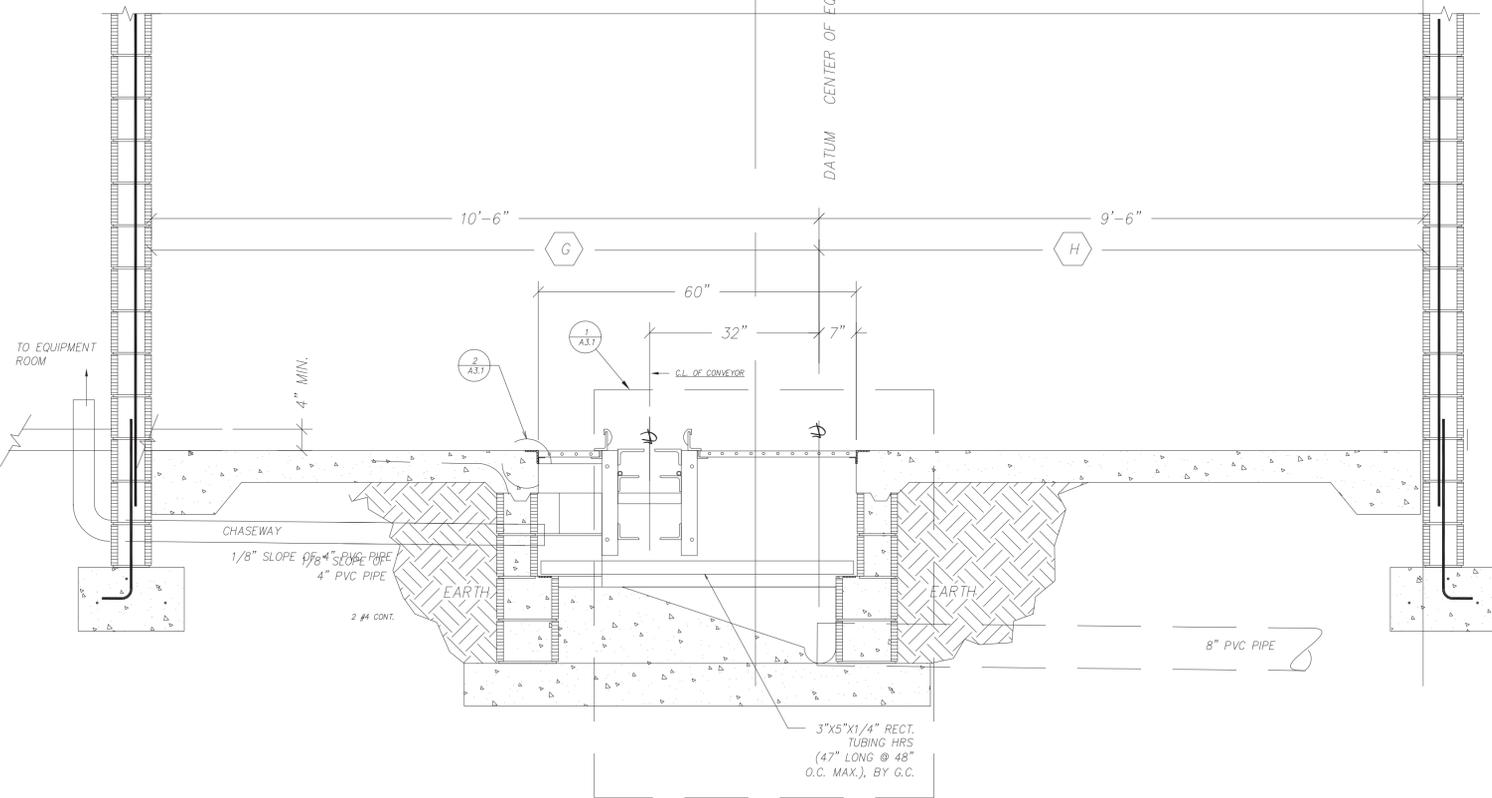
8 SECTION THRU TRENCH/CORRELATOR A3.1

1/4" X 2-1/2" X 2-1/2" L WITH 1/2" DIA. 6" LONG ANCHOR BOLT @ 16" O.C. (BY CONTRACTOR)

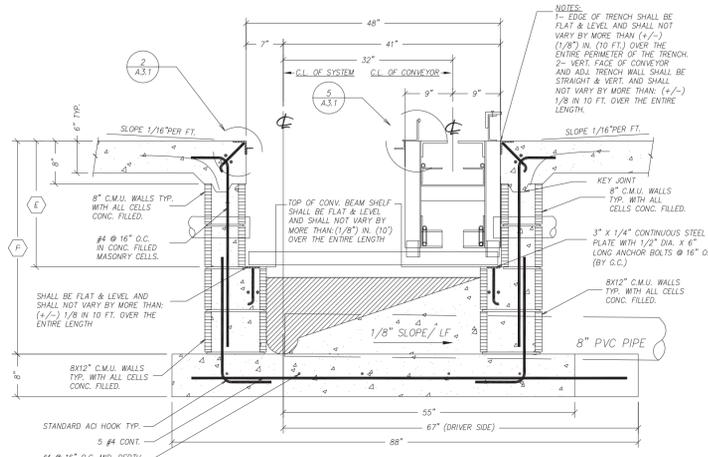


4 A3.1

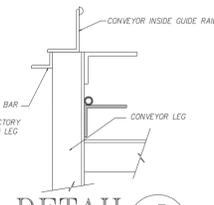
BAR GRATE DETAIL (2) A3.1



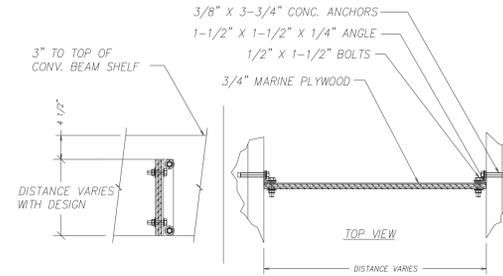
7 SECTION THRU TUNNEL A3.1



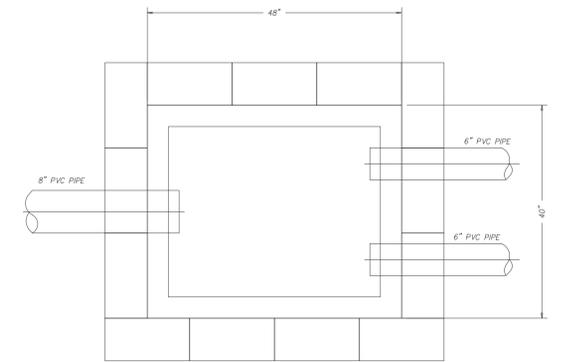
1 SECTION THRU TRENCH A3.1



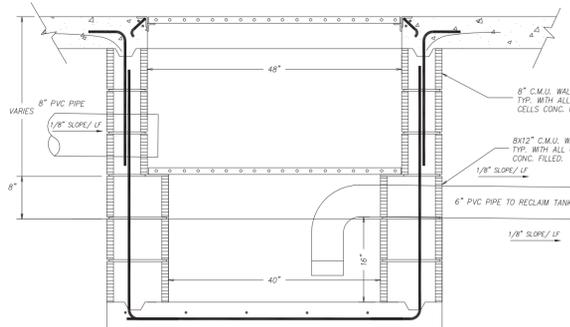
5 A3.1



6 TRENCH DAM SECTION A3.1



SECTION I-I



1 SECTION THRU TRENCH A3.1

STRUCTURAL NOTES

- N/A
- SOIL:** Design shown assumes that the soil conditions at the site are satisfactory and have adequate bearing capacity for the loads to be imposed, with minimal differential settlement of the trench, slab, and car wash structures. If it is found that the soil on the site contains organics, and can not be sufficiently compacted or has other deleterious properties, the trench shall be redesigned for support on a piling foundation. The Architect and/or Engineer of record shall verify the soil conditions at the site.
- CONVEYOR TRENCH CONSTRUCTION:** Excavate trench to a point at or just below the bottom of trench slab shown. Slope excavation to match slope of trench. Compact soil under trench in accordance with soil Engineer's recommendation. Form and pour trench bottom slab coordinating placement of vert. reinf. with placement of block so that vert. reinf. is centered in the block cells. Lay block and fill cells and tie columns with concrete to a point just below the slab over pour shown. After adequate curing time, back fill and compact clean soil behind trench walls in accordance with soils Engineer's direction. Complete trench by forming and pouring conveyor shelf, correlator pit bottom, and surrounding slab.
- SLAB FINISHES:** All car wash vehicular slabs shall be finished with rough non-skid surface (Broom finish). Brush lines in the finish shall be parallel to the direction of slope.
- APPROACH & EXIT SLABS:** Concrete approach and exit slabs extending a minimum of 20 feet from either end of the trench are required. These slabs shall be aligned with and level along the direction of travel through the car wash. Slight sloping of the slabs perpendicular to the direction of travel to allow drainage is acceptable.
- CONCRETE STRENGTH:** All concrete shall be normal weight unless noted otherwise and shall attain a 28 day compressive strength of $f'_c = 3000$ psi.
- MIXES:** All concrete mixes shall be designed by the supplier to meet the requirements set forth herein.
- SLUMP:** Unless noted or approved otherwise, the maximum slump allowable for concrete shall be four (4) inches. If higher slump is desired to increase workability, the Contractor should consult with the concrete supplier about using a concrete additive that will increase slump without increasing the water cement ratio of the concrete. The Contractor shall verify that any concrete additives shall not have any detrimental effects on embedded items, finishes indicated on the plans or likely future finishes.
- VIBRATION:** All cast in place concrete shall be consolidated by means of mechanical vibrators. The Contractor shall use properly trained personnel to assure that the concrete is not over or under vibrated, resulting in over or under consolidation of the concrete.
- FINISHING:** Finishing of concrete shall be in accordance with ACI 35.1 (Latest Edition).
- CURING:** Beginning immediately after placement, concrete shall be protected from premature drying, excessively hot or cold temperatures, and mechanical injury, and shall be maintained with minimal moisture loss at a relatively constant temperature for the period necessary for hydration of the cement and hardening of the concrete. The materials and methods of curing shall conform to ACI 35.1.
- REINFORCING STEEL STRENGTH:** All conventional reinforcing steel shall have a minimum yield strength of 60,000 psi and shall conform to ASTM designation A-615 Grade 60.
- STRENGTH OF MASONRY UNITS:** All hollow concrete masonry units shall be grade N-1 normal weight units that conform to the "Standard Specifications for Hollow Load Bearing Concrete Masonry Units" ASTM C-90 (Latest Edition). The minimum compressive strength of the hollow concrete masonry units at 28 days shall be 2500 psi (net area) with a minimum compressive strength of the masonry assembly $f_m = 1500$ psi.
- MORTAR:** All masonry shall be laid with full mortar coverage of the face shells and webs and full end joints using type M or S mortar. All mortar used in the hollow concrete masonry unit walls shall conform to ASTM 270 (Latest Edition).
- CONCRETE GROUT:** All filled cells of masonry units shall be filled with concrete grout having a minimum compressive strength of 2000 psi and a maximum slump of 9".
- BLOCK PLACEMENT:** All cells to be filled with concrete shall be as straight as possible. The block should not be staggered so as to constrict the flow of concrete in any way. This shall be done by strategically placing pieces of block vertically between filled cells in non modular sections of wall and above and below non modular masonry openings.
- STRUCTURAL STEEL SHAPES:** All structural steel hot rolled shapes and plates shall be ASTM A36 with a minimum yield stress of 36 ksi. All steel shall conform to AISC Standards and Specifications for the Design, Fabrication, and Erection of Structural Steel.
- BOLTS:** All bolts shall conform to "Specifications for Low Carbon Steel Externally and Internally Threaded Standard Fasteners" ASTM A307 or "High Strength Bolts for Structural Steel Joints, Including Suitable Nuts and Plain Hardened Washers" ASTM A325.



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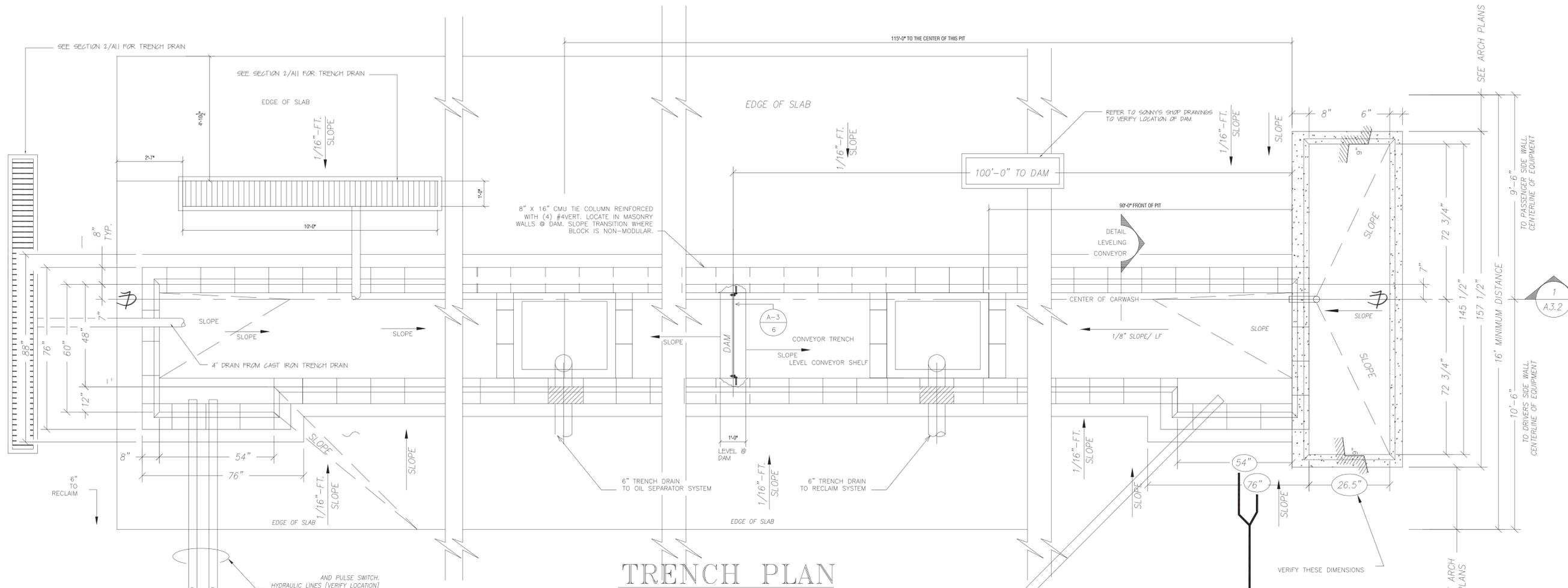
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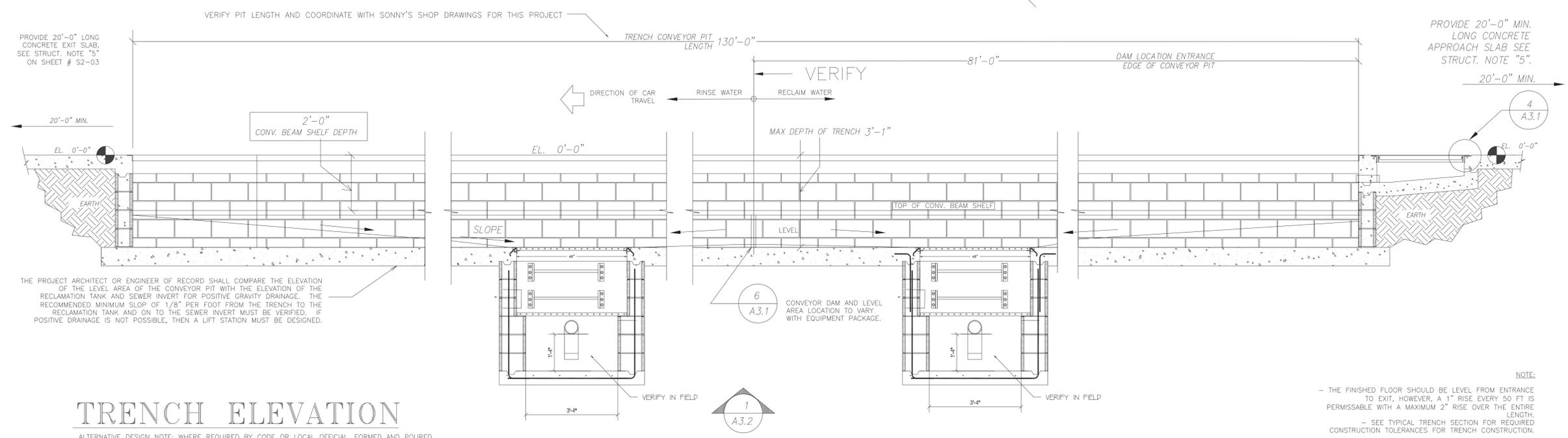
RELEASE DATE:

CONTRACT DATE:
DEC 2, 2013

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TRENCH PLAN



TRENCH ELEVATION

ALTERNATIVE DESIGN NOTE: WHERE REQUIRED BY CODE OR LOCAL OFFICIAL, FORMED AND POURED CONCRETE WALLS CAN BE SUBSTITUTED FOR THE MASONRY WALLS SHOWN USING THE SAME REINFORCING.



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Project & Owner Information
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 Bill Hinton Holdings, LLC
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 Lynchburg, VA

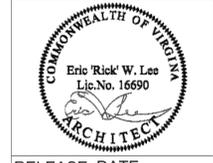
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 CHECKED BY:
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sheet number

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of

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RELEASE DATE:
 CONTRACT DATE:
 DEC 2 2013

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NOTE:
 - THE FINISHED FLOOR SHOULD BE LEVEL FROM ENTRANCE TO EXIT, HOWEVER, A 1" RISE EVERY 50 FT IS PERMISSIBLE WITH A MAXIMUM 2" RISE OVER THE ENTIRE LENGTH.
 - SEE TYPICAL TRENCH SECTION FOR REQUIRED CONSTRUCTION TOLERANCES FOR TRENCH CONSTRUCTION.

